



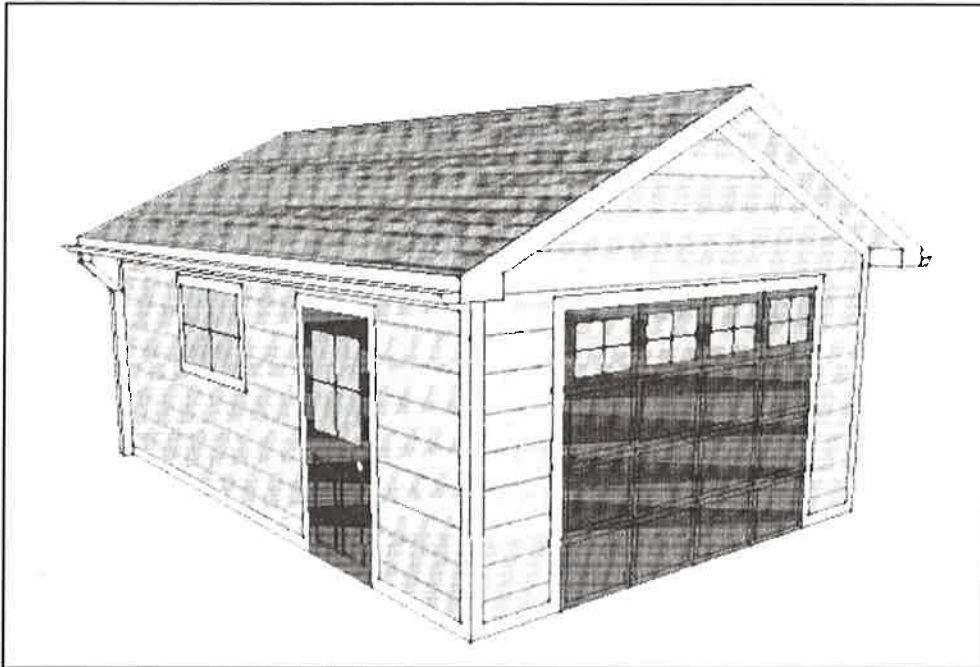
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A Natural Attraction

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Planning & Development Services

Building Permit Information and Guide for Detached Garages and Sheds



A building permit is your legal authority to build. You must not start construction until the permit has been issued. Work begun without a permit can lead to the work requiring to be uncovered/exposed, costly delays, increased permit fees or legal action.

When is a building permit required for an accessory building?

- If the building (new or replacement) is 10 meters squared (107 feet square) or greater above finished grade
- If the building is attached to the house or structure regardless of its size
- If the building contains plumbing regardless of its size
- A permit is also required for structural renovations, repairs or additions to existing buildings

Note: Accessory buildings must comply with the Building Code and zoning requirements. For more information, contact the City of Quinte West Building Department at 613-392-2841.

Documentation Required:

- Completed permit application must be submitted
- Approval from Lower Trent Conservation Authority or Quinte Conservation Authority (if the property is in a regulated area) must be obtained prior to the Building Permit being issued.

Plans Required:

- Two copies of the most recent survey or site plan for the property showing dimensions of all existing buildings and structures, and their setbacks. The proposed building is to be plotted on the site plan and setback dimensions to all property lines must be shown. Any existing above ground electrical conductors that cross over the property lines must be indicated on the site plan. *Note* A building is not permitted to be located beneath existing above ground electrical conductors.
- Two copies of construction drawings including structure, elevation, section and details. The attached template drawing and details can be used, providing all dimensions and information are shown on the "Floor Plan"

Building plans can be prepared by the homeowner if they have good working knowledge of house construction and drafting practices. The Ontario Building Code requires that plans prepared by anyone other than the homeowner be done by a designer qualified by the Ministry of Municipal Affairs and Housing.

Fee:

The Building Permit fee is due at the time of permit application. The Building Division staff will advise you of the amount when you apply for the permit.

Time to permit issuance:

Building Services will review completed plans and documentation to help ensure that minimum building standards are met. It is our goal to process and issue the building permit within 10 business days. Please note that missing or incomplete information can delay the time it takes to process and issue the Building Permit.

Inspections:

Two business days' notice must be given for required inspections. Have one set of the plans and specifications that were returned to you with the Building Permit on site and available for the Building Inspector.

Call before you dig:

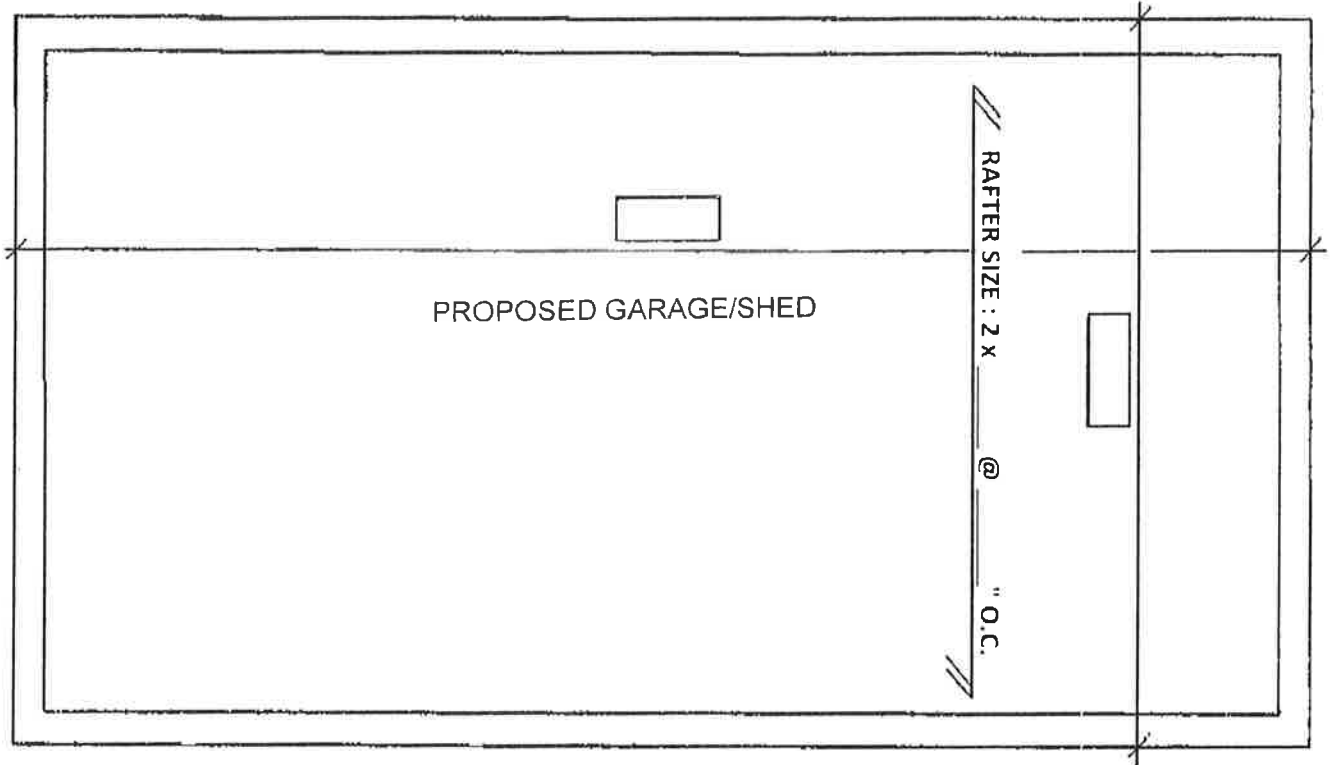
Ontario One Call: 1-800-400-2255

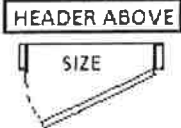
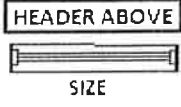
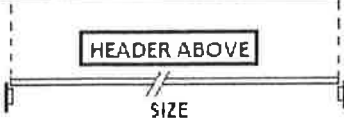
Instructions to Design your Detached Garage/Shed

1. Refer to the sample 'Floor Plan' on page 4. Create your own or modify the sample to show all of your openings and structural information. Draw windows, doors, and structural components onto your floor plan. Use Table 2 labeled 'Rafter Sizing' to select the lumber to frame your roof and note the selection on your 'Floor Plan' as shown on the sample. If engineered roof trusses are to be used then label "Engineered roof trusses" on the 'Floor Plan'
2. Refer to the sample "Elevations" on Page 5. Create your own or modify the sample to show all of your openings. Draw windows, doors, and garage doors onto your elevations. Note the direction each elevation is facing in the title block under each elevation (e.g. North, South, East, or West). No openings are permitted in a wall within 4'-0" of a property line.
3. Refer to the 'Building Section' on page 6. Create your own or modify the sample to show framing details and building height. If a truss system is used please note: "Trusses as per attached" on the 'Building Section' and attach the engineered stamped truss drawings to your application.
4. Refer to the sample 'Foundations' on pages 7 and 8. There are 4 foundation options to choose from based on site conditions, cost, use and size of the building. Simply select one of the options and discard or strike out the other options. 'Pier Type' foundations with wood floors and 'Mud Sill' foundations are to be used for sheds only to maximum size of 592 sq.ft. and are not designed to support the weight of motorized vehicles.

Note: Please provide your own shed or garage plans if your shed or garage is different from what is shown in this package (Use the same concept and provide the same information). You will also need to provide your own details if the proposed construction methods differ from those provided. **Please note**, that any proposed prefabricated garage system or truss roof system must have a set of stamped drawings provided by a licensed Engineer with the Province of Ontario (a manufacturer or building supply store would supply you these details at your request).

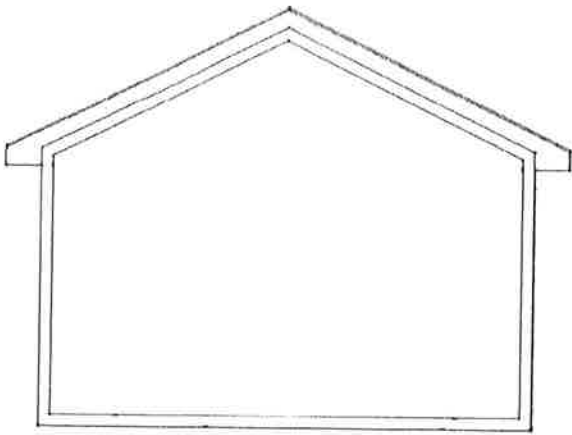
1. Floor Plan – Draw in building features and roof info on floor plan below;



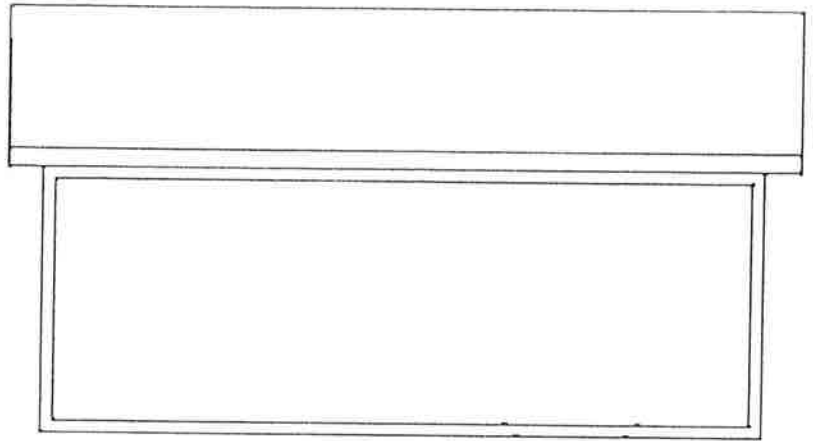
MAN DOOR	WINDOW	GARAGE DOOR	HEADER SIZES
			2-2x6 – 4' OPENING
			2-2x8 – 6' OPENING
			2-2x10 – 8' OPENING
			2-2x12 – 10' OPENING

RAFTER SIZE	MAXIMIM CLEAR RAFTER SPAN		
	RAFTER SPACING		
	12" O.C.	16" O.C.	24" O.C.
2 x 4	8'-11"	8'-0"	7'-0"
2 x 6	14'-0"	12'-9"	11'-2"
2 x 8	18'-5"	16'-9"	14'-5"
2 x 10	23'-6"	21'-4"	17'-8"

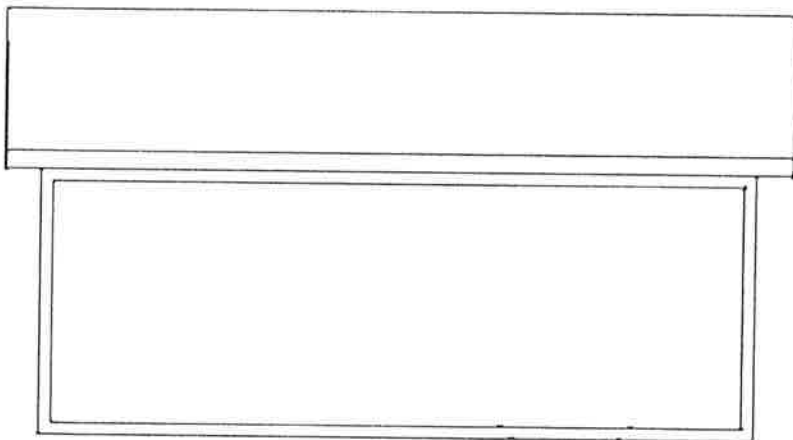
2. Elevations – Draw in the building features and indicate the facing direction using the elevations and title blocks below;



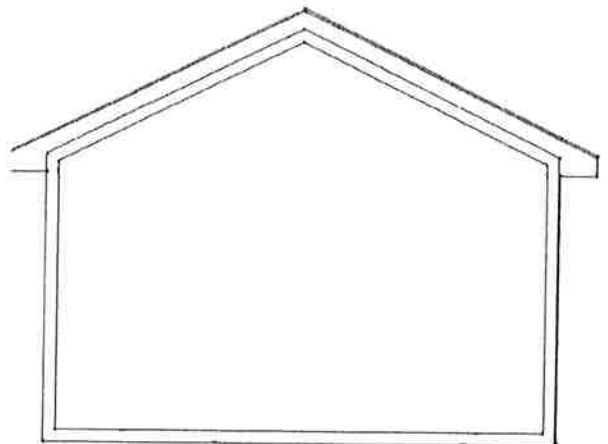
ELEVATION



ELEVATION

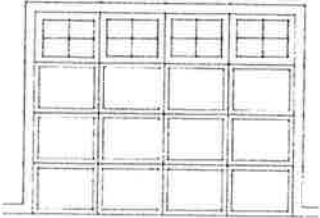
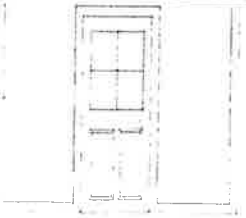
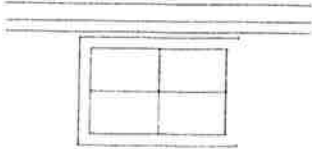


ELEVATION

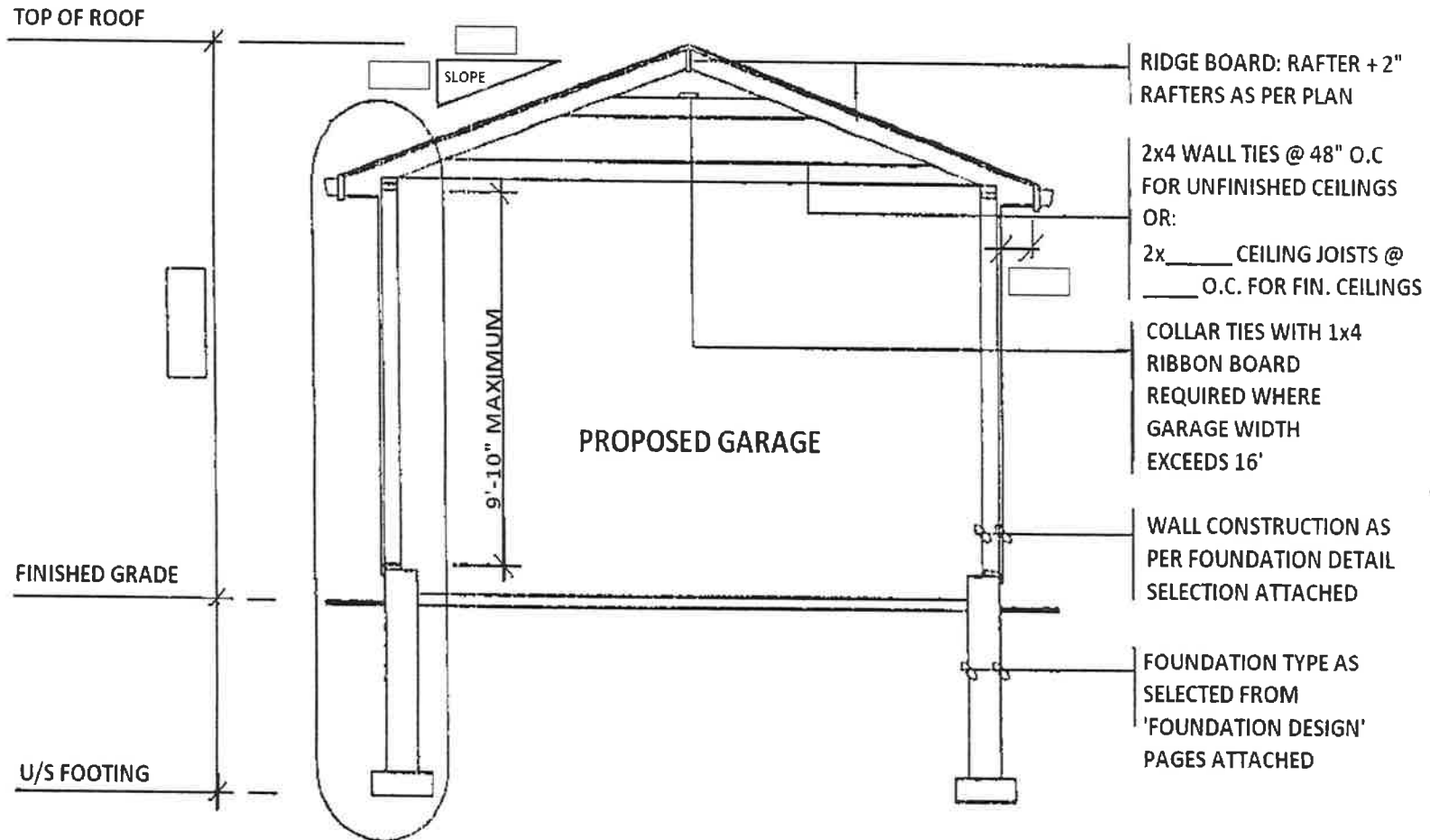


ELEVATION

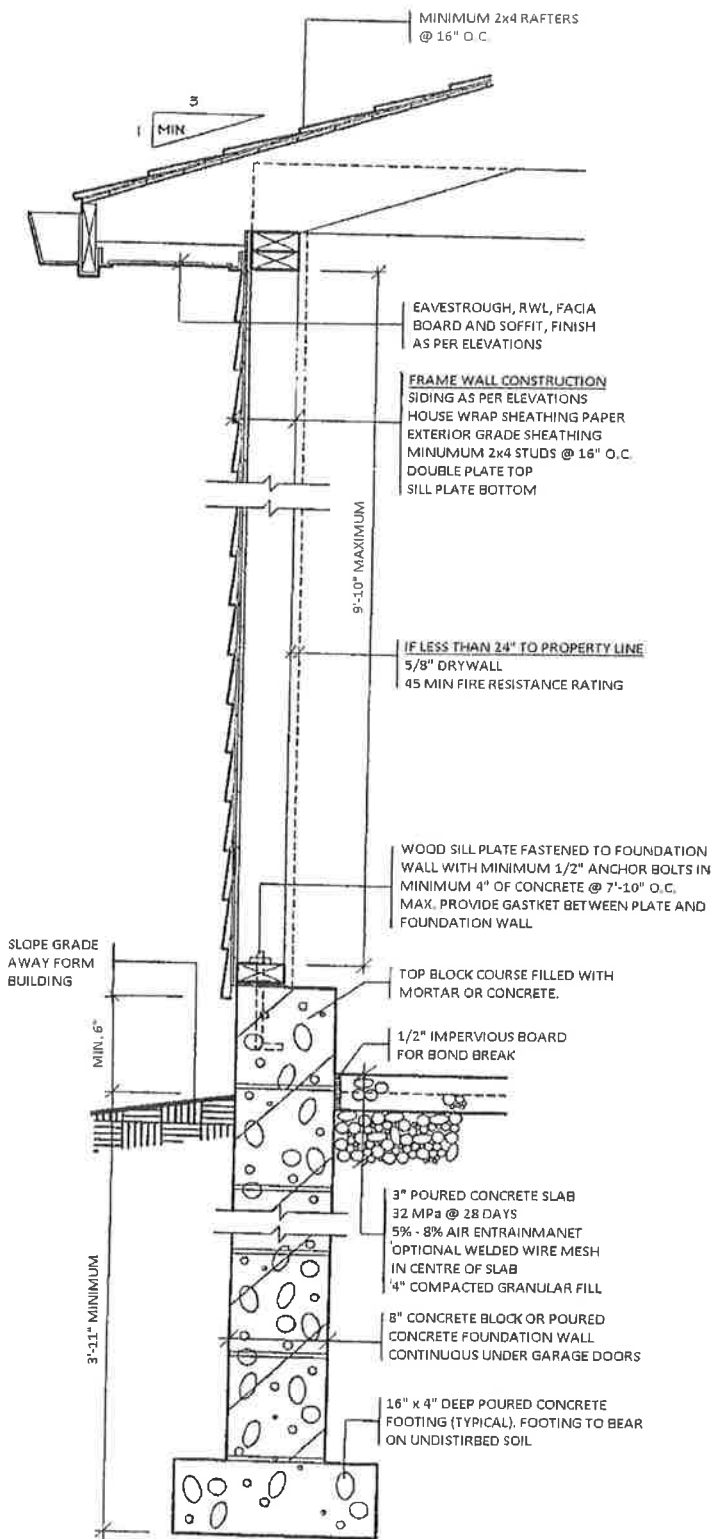
TABLE 3: SAMPLE BUILDING FEATURES

GARAGE DOOR	MAN DOOR	WINDOW
		

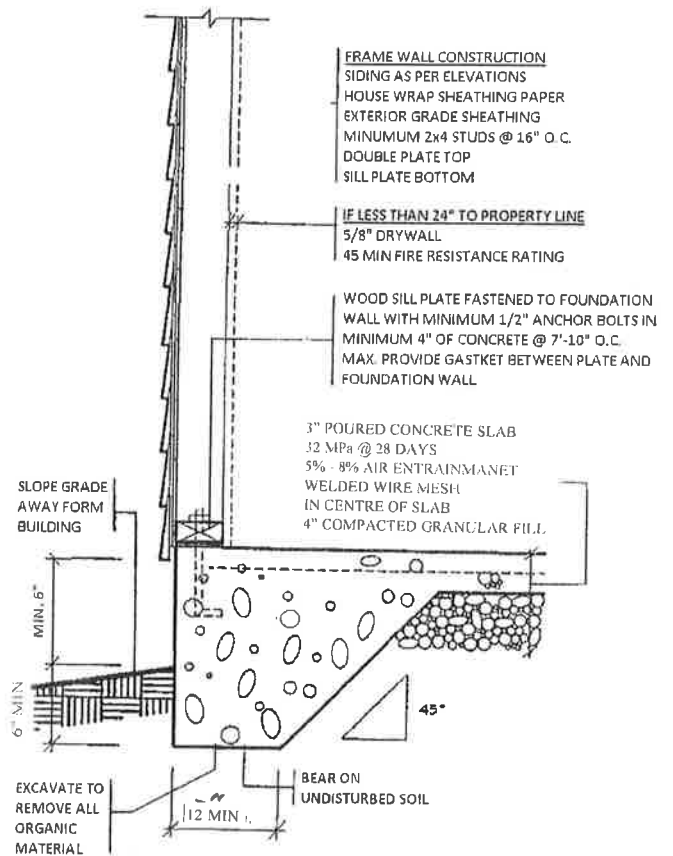
3. Building Section – Indicate Overall building height, soffit overhang and roof framing on drawing below;



4. Foundation Design – Strike out the foundation designs not to be used;

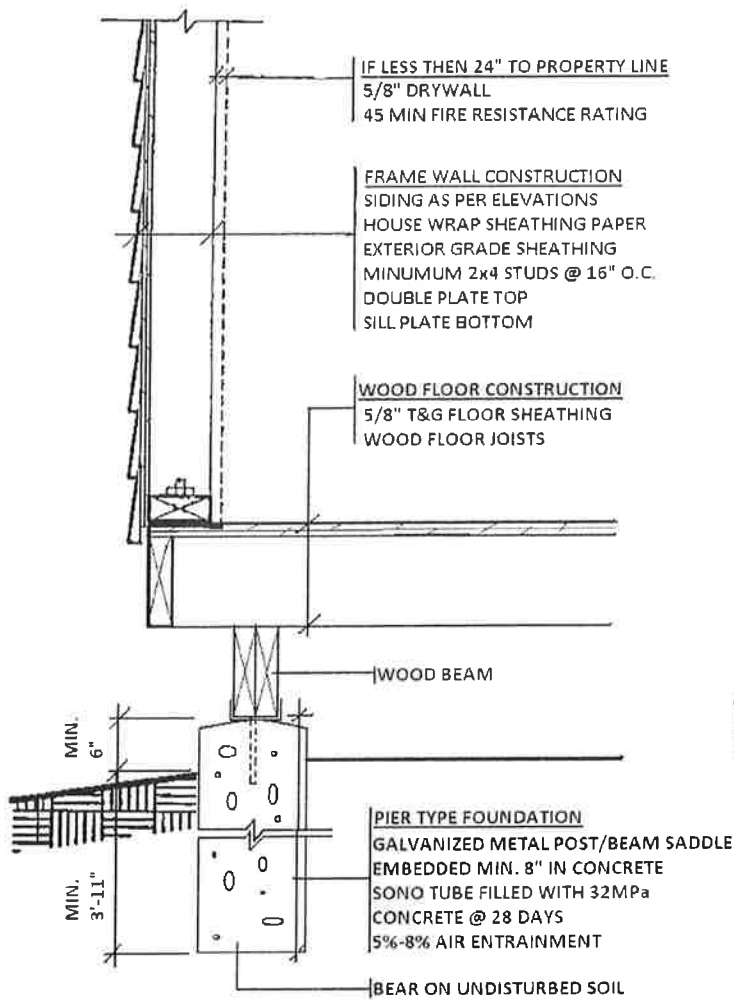


BELOW FROST TYPE FOUNDATION

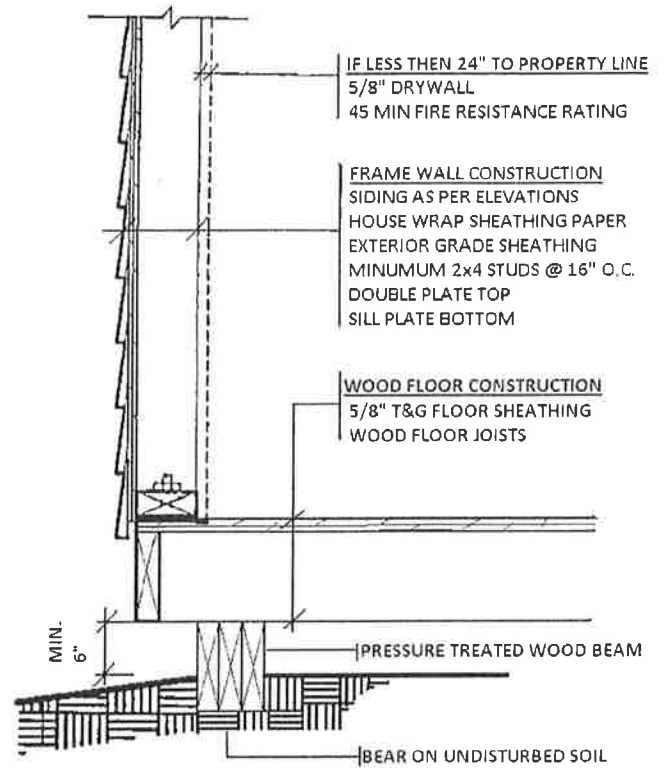


MAXIMUM 55M2, ONE STOREY WOOD FRAME

CONCRETE PAD TYPE FOUNDATION



PIER TYPE FOUNDATION



MUD SILL TYPE FOUNDATION

NOTES:

- 1) MUD SILL FOUNDATIONS REQUIRE EARTH ANCHORAGE.
- 2) MAXIMUM 55M2, ONE STOREY WOOD FRAME ONLY.

JOIST SPAN	PIER SIZE (Diameter at base)				BEAM SIZE				JOIST SIZE
	PIER SPACING				PIER SPACING				
	4'	6'	8'	10'	4'	6'	8'	10'	
6'	14"Ø	18"Ø	20"Ø	22"Ø	2-2x6	2-2x6	2-2x8	2-2x10	2x6
8'	16"Ø	20"Ø	22"Ø	24"Ø	2-2x6	2-2x8	2-2x10	2-2x12	2x6
10'	18"Ø	22"Ø	24"Ø	28"Ø	2-2x6	2-2x8	2-2x10	2-2x12	2x8
12'	20"Ø	24"Ø	28"Ø	30"Ø	2-2x6	2-2x8	2-2x10	2-2x12	2x10

Note: Soil bearing capacity to be considered as 2090 PSF (100kPa)